



Manufactured Home Regulation, Installation and permitting Process

Permits and Inspection

Policy 10-06

for public distribution

October 2008

The City of Richmond Bureau of Permits and Inspection issues building permit for placement of Manufactured Homes. The following condition must normally be met to obtain a manufactured home placement permit.

What is a Mobile, Manufactured or Modular Home?

Mobile Home:

A mobile home, is a structure similar to a manufactured home, but was built to the mobile home code requirements prior to June 15, 1976. The mobile home is usually metal-sided, single or doublewide size, and built on I-Beam steel permanent Chassis that run parallel under the home and support the floor girders and joists. The mobile home comes equipped with sets of wheels and the steel towing tongue, for towing.

Manufactured Home:

After June 15, 1976, mobile homes were constructed to the Federal Manufactured Housing and Safety Standard Act (HUD) [see section 13 VAC5-95-20 Section C of Virginia Code and USBC Manufactured Home Safety Regulation – Effective May 1, 2008] The mobile home was now referred to as a Manufactured Home.

“Manufactured Homes” means a structure subject to federal regulation, which is transportable in one or more sections; is eight (8’) body feet or more in width and forty (40’) body feet or more in length in the traveling mode, or is 320 or more square feet when erected on site; is built on a permanent chassis; is designed to be used as a single-family dwelling, with or without a permanent foundation, when connected to required utilities; and includes the plumbing, heating, air-conditioning, and electrical systems contained in the structure. All manufactured home will have a permanently affixed construction seal (HUD LABEL) on the outside or inside of each section. The label contains information including name of the manufacturer, design approval agency, factory installed equipment, and the wind load, roof load, and thermal zones the unit was constructed for.

DATA PLATES OF MANUFACTURED HOMES INSTALLED IN THE CITY OF RICHMOND SHALL INDICATE THE FOLLOWING:

Thermal Climate Zone	III (4)
Snow Load	20 lbs
Wind Speed	90 mph
3- Second Gust Wind Speed	105 mph

Permit Requirements

In order to obtain a permit for a mobile home or manufactured home, applicants must provided City of Richmond bureau of permits and inspection with following:

Completed building permit application

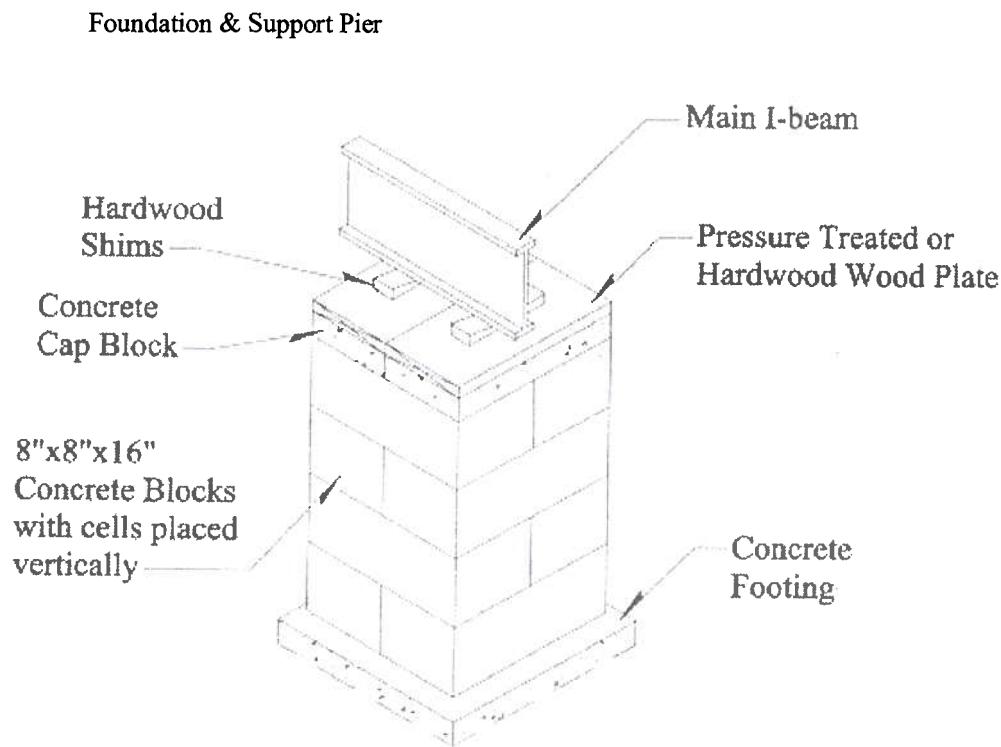
Four (4) copies of plans and installation guideline to be included

Four (4) copies of the manufactured home park site layout.

Four (4) copies of a site plan showing the proposed location of the manufactured home and any additions of accessory buildings or structures on the individual lot.

The City Zoning Ordinance, Chapter 114 of the City of Richmond Code only allows **manufactured (mobile) homes** to be located in the R-MH (Mobile Home) zoning district; they are not allowed in any other zoning district. Manufactured homes, and any accessory building or structures, must also meet applicable yard (setback) requirements of the Zoning Ordinance. These specify that the manufactured home unit cannot be located closer than twenty-five feet (25') from a public street or manufactured home park boundary (property) line, within fifteen feet (15') of a private drive within the manufactured home park or within fifteen feet (15') of another manufactured home unit or accessory building.

Modular homes are treated the same as "stick-built" housing and they are permitted in all R and other zoning districts that permit single-family (detached) dwellings. This is due to the fact that they are built in accordance with One- and Two-Family and Virginia Uniform Statewide Building Code requirements/standards (built on wood beams and wood floor systems, **not on a permanent chassis for traveling and transportation**).



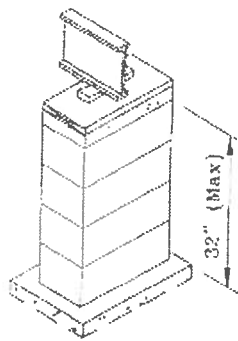
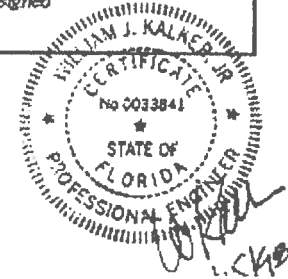
Pier Components



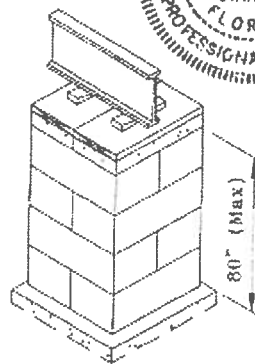
Pier Capacity (Pounds)	Minimum Pad Size (square inches) for Various Soil Capacities							
	1000 PSF	1500 PSF	2000 PSF	2500 PSF	3000 PSF	4000 PSF	5000 PSF	6000 PSF
1000	12 x 20	12 x 20	12 x 20	12 x 20	12 x 20	12 x 20	12 x 20	12 x 20
2000	20 x 20	12 x 20	12 x 20	12 x 20	12 x 20	12 x 20	12 x 20	12 x 20
3000	22 x 24	18 x 20	16 x 20	12 x 20	12 x 20	12 x 20	12 x 20	12 x 20
4000	26 x 28	22 x 24	18 x 20	16 x 20	12 x 20	12 x 20	12 x 20	12 x 20
5000	30 x 30	24 x 24	22 x 20	16 x 20	16 x 20	12 x 20	12 x 20	12 x 20
6000	32 x 34	26 x 26	22 x 24	20 x 20	16 x 20	12 x 20	12 x 20	12 x 20
7000	34 x 36	28 x 30	24 x 24	22 x 20	20 x 20	16 x 20	12 x 20	12 x 20
8000	36 x 38	30 x 30	26 x 26	22 x 24	20 x 20	16 x 20	12 x 20	12 x 20
9000	38 x 40	30 x 32	26 x 28	24 x 24	22 x 24	20 x 20	20 x 20	20 x 20
10000	40 x 42	32 x 34	28 x 30	26 x 26	22 x 24	20 x 20	20 x 20	20 x 20

1. All footings must be a minimum of 4" thick and comply with local building codes.
2. Any footing larger than 20" x 20" x 4" must be a single precast or poured unit or block. Multiple blocks may not be used.
3. Foundations in soil with a bearing capacity of less than 1000 PSF must be designed by a registered professional engineer familiar with the site conditions.

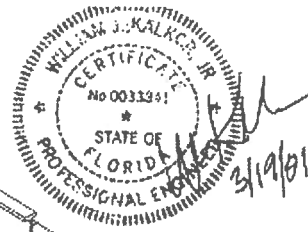
Footing Capacities.
Table 3



8000 lbs. Maximum Capacity



16000 lbs. Maximum Capacity

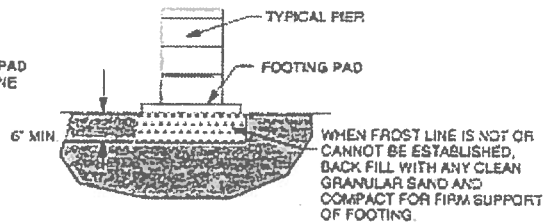
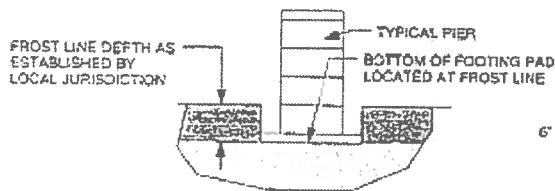


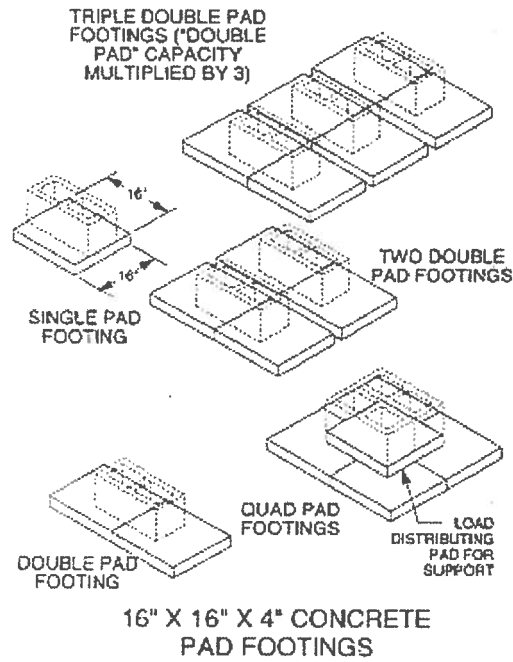
MAXIMUM PIER SPACING										
ROOFLOAD (PSF)	SOIL CAPACITY (PSF)	16" x 16"			20" x 20"			24" x 24"		
		12-WIDE	14-WIDE	16-WIDE	12-WIDE	14-WIDE	16-WIDE	12-WIDE	14-WIDE	16-WIDE
20	1000	2'6"	2'2"	2'0"	4'2"	3'8"	3'3"	6'4"	5'6"	4'10"
	1500	4'2"	3'8"	3'3"	6'9"	6'0"	5'4"	10'1"	8'10"	7'9"
	2000	5'11"	5'2"	4'6"	9'6"	8'4"	7'3"	12'0"	12'0"	10'8"
	2500	7'6"	6'8"	5'9"	12'0"	10'8"	9'4"	12'0"	12'0"	12'0"
	3000	9'3"	8'2"	7'1"	12'0"	12'0"	11'4"	12'0"	12'0"	12'0"
30	1000	2'3"	2'0"	2'0"	3'9"	3'4"	2'11"	5'7"	5'0"	4'4"
	1500	3'9"	3'4"	2'10"	6'2"	5'5"	4'9"	9'0"	8'0"	7'0"
	2000	5'3"	4'8"	4'0"	8'5"	7'6"	6'6"	12'0"	11'0"	9'10"
	2500	6'9"	6'0"	5'3"	10'10"	9'7"	8'4"	12'0"	12'0"	12'0"
	3000	8'3"	7'4"	6'4"	12'0"	11'8"	10'2"	12'0"	12'0"	12'0"
40	1000	2'0"	2'0"	2'0"	3'5"	3'0"	2'8"	5'1"	4'6"	3'11"
	1500	3'4"	3'0"	2'7"	5'6"	4'11"	4'3"	8'1"	7'3"	6'3"
	2000	4'9"	4'6"	3'8"	7'8"	6'10"	5'12"	11'2"	10'0"	8'0"
	2500	6'1"	5'5"	4'9"	9'9"	8'6"	7'6"	12'0"	12'0"	11'0"
	3000	7'5"	6'8"	5'9"	12'0"	10'6"	9'2"	12'0"	12'0"	12'0"

MAXIMUM PIER SPACING FOR 18' WIDE HOMES (40 PSF ROOF LOAD NOT APPLICABLE)				
ROOF LOAD (PSF)	SOIL CAPACITY (PSF)	16" x 16"	20" x 20"	24" x 24"
		18 - WIDE	18 - WIDE	18 - WIDE
20	1000	1'8"	2'10"	4'4"
	1500	2'10"	4'8"	6'11"
	2000	4'0"	6'6"	9'7"
	2500	5'2"	8'4"	12'0"
	3000	6'4"	10'2"	12'0"
30	1000	1'6"	2'6"	3'10"
	1500	3'6"	4'2"	6'2"
	2000	3'2"	5'10"	8'2"
	2500	4'8"	7'5"	10'11"
	3000	5'8"	9'1"	12'0"

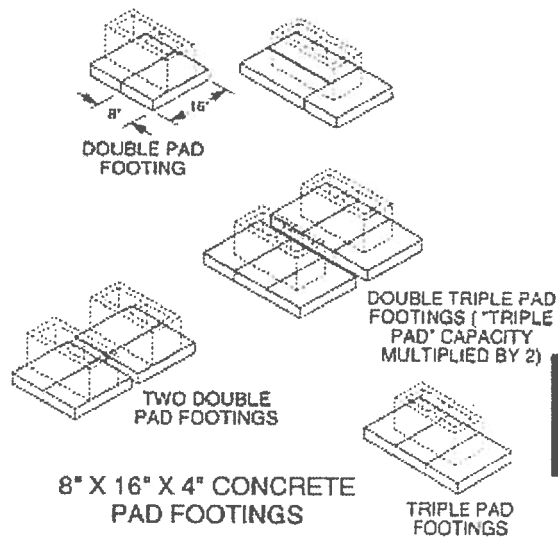
FOOTINGS AND FROST LINES

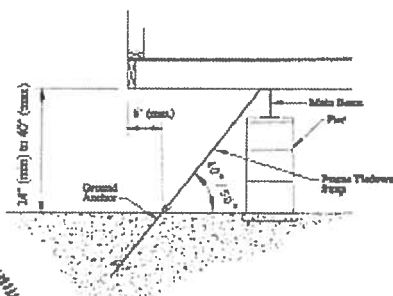
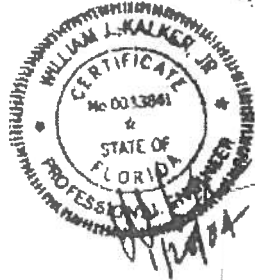
In areas where the ground is subject to freezing, frost heaving can lead to unleveling and potential damage to the home. Follow these details in areas where the ground is subject to freezing.



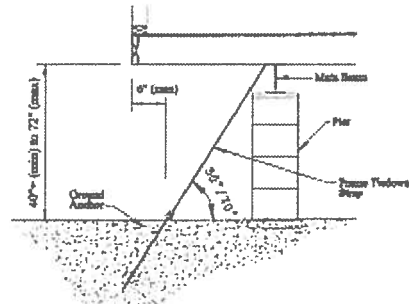


FOUNDATION FOOTINGS WITH CONCRETE BLOCK PIERS
 Double concrete block piers may be used on any pad that covers at least 16" x 16".

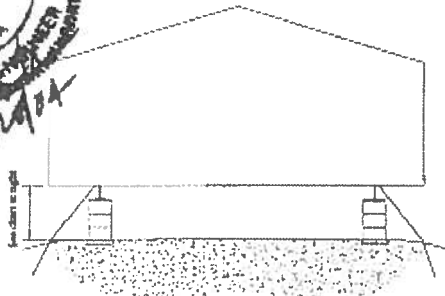




STANDARD FRAME TIEDOWN APPLICATION



HIGH PIER FRAME TIEDOWN APPLICATION



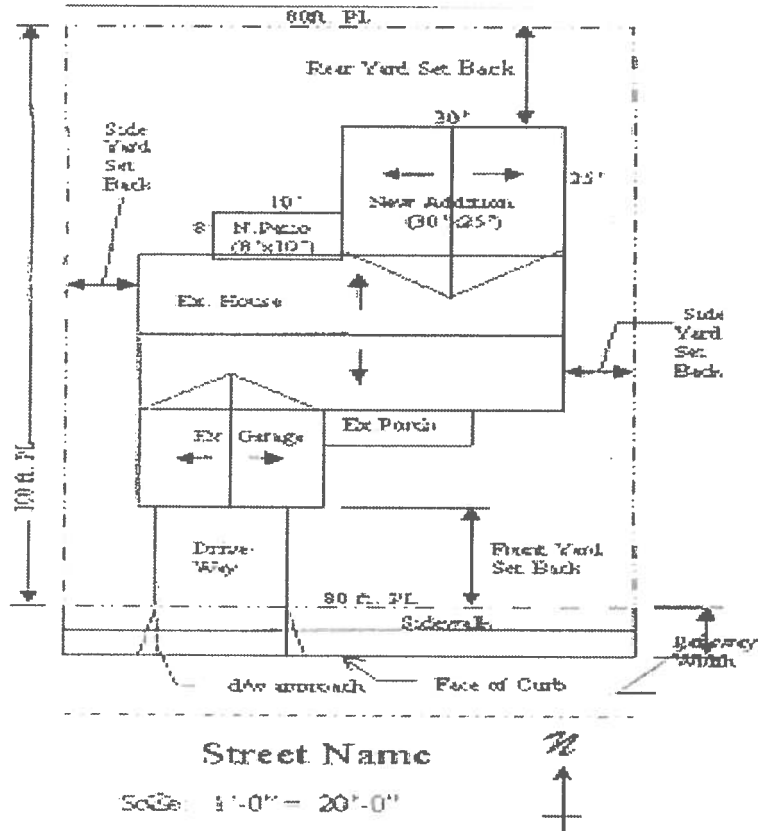
TYPICAL STRAP INSTALLED ON BOTH SIDES OF HOME

Wind Zone I Applications ONLY		
Floor Width	Tie Down Spacing for homes 24' to 40' high (See Note Below)	Tie Down Spacing for homes 40' to 72' high (See Note Below)
164" Single Section (14 wide)	12'-0" o.c.	7'-6" o.c.
188" Single Section (16 wide)	12'-0" o.c.	9'-6" o.c.
210" Single Section (18 wide)	12'-0" o.c.	11'-0" o.c.

NOTE: Height of home for determining the spacing of frame tiedowns is measured from the ground to the top of the I-beam.

Frame Tiedown Straps

Four copies of site plans or plot plan



If the manufacturer's installation instructions are not provided, then the installation shall comply with applicable requirements of the VUSBC 2006 edition. In this case the installation shall meet the requirements of NCSBCS/ANSI A225.1 standard, 1994 edition.

SKIRTING:

Skirting shall be provided as per section 421.4 of USBC 2006 edition for all new and relocated manufactured home within the City of Richmond jurisdiction. Skirting material shall be durable, suitable for exterior exposures and installed in accordance with the manufacturer's installation instructions. Skirting shall be installed within 60 days of occupancy of the home.

Information on the mobile home/manufactured home

Is the mobile/manufactured home is new or used?

Is the mobile/manufactured home design and certified for the use within the City of Richmond jurisdiction, and is certified by HUD

Indicate location and type of all improvements on site

Any accessory building greater than 120 square feet, any decks, porches, stairs, and ramps require a building permit, you can included all in your main permit or apply for separate permit, this permit must conform to VUSBC , and IRC, residential Building Code for one and two family. Any building or structure, regardless of whether it requires a building permit, shall meet applicable yard setback) requirements for the R-MH zoning district.



Permits and Inspection

Policy 10-06

2008

Permits & Inspections

900 E. Broad Street, Room 110

Richmond, Virginia 23219

Phone: 804-646-6955

Fax: 804-646-6948

Email: DCDPermitsAndInspections@ci.richmond.va.us

"Committed to Building a Better Richmond Together"

Important Phone Numbers:

Main Number: 646-6955

Single Family Plan Review:
646-6975

Structural Plans Review:
646-7483

Plumbing Plans Review:
646-6979

Electrical Plans

Review: 646-6963

Mechanical Plans

Review: 646-6982

Housing Code

Enforcement: 646-6419

Environmental Code

Enforcement: 646-7448

Permits for:

Sewer Connection, On-site
Storm Sewer , Driveways,
Work in Streets & Alleys,
Land Disturbing;

Flood Plain Information;
Chesapeake Bay Preserva-
tion Program:

646-6440

Zoning:

646-6340

Fax Number:

646-6948

*For Inspection Requests,
please use our automated
system, SPANLINK:*

646-0770